



**North Carolina Department of Natural and Cultural Resources**  
**State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Pat McCrory  
Secretary Susan Kluttz

Office of Archives and History  
Deputy Secretary Kevin Cherry

September 27, 2016

**MEMORANDUM**

**TO:** Shelby Reap  
Office of Human Environment  
NCDOT Division of Highways

**FROM:** Renee Gledhill-Earley *Renee Gledhill-Earley*  
Environmental Review Coordinator

**SUBJECT:** Historic Structures Survey Report for Replacement of Bridge 169 on SR 1620 over  
Big Juniper Run, PA 16-01-0151, Sampson County, ER 16-1530

Thank you for your August 25, 2016, letter, transmitting the above-referenced report. We have reviewed the report and provide the following comments.

Lewis Jernigan House (SP0647): While we concur that the house is not eligible for listing in the National Register of Historic Places due to extensive alterations, it should be noted that the preparer of the report, Charles Richmond, makes a number of confusing and/or inaccurate statements regarding the property. On page 4 it is stated that the property was surveyed in 1979 but was not evaluated for the National Register at that time. Yet it appears that Mr. Richmond, who clearly reviewed the survey file, failed to comprehend that the property is on the Study List and that a National Register nomination was prepared for it in 1985, but pulled from the October 25, 1985 State Professional Review Committee meeting due to our inability to obtain updated photos and other information. Further, the discussion of historic context is very difficult to follow, at times verging on the incomprehensible. Discussion of architectural context appears only in the evaluation on pp. 17-18 and is equally difficult to follow, as well as not quite accurate regarding story-and-a-jump houses.

Malcom Jernigan Property (SP0711): We concur that this house is not eligible for listing in the National Register due to alterations and apparent lack of significance. It is very possible that the ca. 1930 mill building is not eligible due to alterations, either, but the evaluation is inadequate. While the building has aluminum siding and replacement doors, we do not necessarily agree that the loss of the mill machinery renders the mill ineligible under Criterion A in the area of industry. The historic context discussion states on pp. 30-31 that a number of mills in the county were rebuilt or upgraded in the early to mid-20<sup>th</sup> century and mentions four other mills without describing them. The evaluation fails to compare the Jernigan Mill to them. More information is needed for a proper evaluation of the mill.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-807-6579 or [environmental.review@ncdcr.gov](mailto:environmental.review@ncdcr.gov). In all future communication concerning this project, please cite the above referenced tracking number.

cc: Mary Pope Furr, NCDOT, [mfurr@ncdot.gov](mailto:mfurr@ncdot.gov)



PAT McCRORY  
Governor

NICHOLAS J. TENNYSON  
Secretary

August 25, 2016

ER 16- 1530

Renee Gledhill-Earley  
Environmental Review Coordinator  
North Carolina Department of Cultural Resources  
4617 Mail Service Center  
Raleigh, North Carolina 27699-4617

# ER letters  
case 9/20/16

Dear Ms. Gledhill-Earley:

DE 9/19/16

RE: **Historic Structures Report:** Sampson County, TIP # B-5631, PA# 16-01-0151, Replace Bridge No. 169 on US SR 1620 (Timothy Rd) over Big Juniper Run.

The North Carolina Department of Transportation (NCDOT) is conducting planning studies for the above-referenced project. Please find attached one hard copy and one digital copy of the Historic Structure Report, as well as a Survey Site form, digital images, and GIS data. The report meets the guidelines for survey procedures for NCDOT and the National Park Service. If you have any questions regarding the accompanying information, please feel free to contact me at 919-707-6088 or [slreap@ncdot.gov](mailto:slreap@ncdot.gov).

Sincerely,

Shelby Reap  
Historic Architecture Group

Attachment



# HISTORIC ARCHITECTURAL RESOURCES ELIGIBILITY EVALUATION

Replace Bridge No. 169  
On SR 1620 (Timothy Road) over Big Juniper Run  
Sampson County, North Carolina

Project Number: TIP # B-5631  
WBS # 45586.1.1



## Prepared For:

North Carolina Department of Transportation  
Human Environment Section

## Prepared By:

Charles A. Richmond  
McCormick Taylor, Inc.



August 2016

# Historic Architectural Resources Eligibility Evaluation

Replace Bridge No. 169  
On SR 1620 (Timothy Road) over Big Juniper Run  
Sampson County, North Carolina

Project Number: TIP # B-5631  
WBS # 45586.1.1

Prepared For:

**North Carolina Department of Transportation**  
Human Environment Section  
1598 Mail Service Center  
Raleigh, North Carolina 27699-1598

Prepared By:  
Charles A. Richmond

**McCormick Taylor, Inc.**  
5511 Capital Center Drive  
Raleigh, North Carolina 27606

August 2016



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Principal Investigator  
McCormick Taylor, Inc.

August 19, 2016

Date

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Supervisor, Historic Architecture Group  
North Carolina Department of Transportation

Date

## Management Summary

McCormick Taylor, Inc., a sub-consultant to Dovetail Cultural Resources Group (Dovetail), has conducted a historic architectural eligibility evaluation on behalf of the North Carolina Department of Transportation (NCDOT) as part of the proposed project to Replace Bridge No. 169 on SR 1620 (Timothy Road) over Big Juniper Run in Plain View Township, Sampson County, North Carolina. The NCDOT state project number is WBS No. 45586.1.1 and the Transportation Improvement Project (TIP) number is B-5631. The project is subject to review under the Programmatic Agreement for Minor Transportation Projects.

McCormick Taylor, Inc. conducted an intensive-level field survey that included analyzing and evaluating two properties according to the National Register of Historic Places (NRHP) Criteria. The Lewis Jernigan House (SP0647) was previously identified and documented, but was not evaluated for the NRHP. The Malcolm Jernigan Property (SP0711), located at 9930 Timothy Road, was newly identified as part of the current project.

The investigations were conducted in compliance with Section 106 of the National Historic Preservation Act of 1966, as amended, applicable state and federal regulations, and NCDOT's Historic Architecture Group Procedures and Work Products and the North Carolina Historic Preservation Office's Report Standards for Historic Structure Survey Reports/Determination of Eligibility/Section 106/110 Compliance Reports in North Carolina.

As a result of the survey, McCormick Taylor, Inc. recommends that both the Lewis Jernigan House and Malcolm Jernigan Property are not eligible for listing in the NRHP (Table 1).

Table 1: Eligibility Recommendations

Property Name	NC-HPO Survey Site Number	Eligibility Recommendation	Criteria
Lewis Jernigan House	SP0647	Not Eligible	N/A
Malcolm Jernigan Property	SP0711	Not Eligible	N/A

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## Introduction

McCormick Taylor, Inc. has conducted a historic architectural eligibility evaluation on behalf of the NCDOT as part of the proposed project to Replace Bridge No. 169 on SR 1620 (Timothy Road) over Big Juniper Run in Plain View Township, Sampson County, North Carolina (**See Figure 1**). The NCDOT state project number is WBS No. 45586.1.1 and the TIP number is B-5631. The project is subject to review under the Programmatic Agreement for Minor Transportation Projects.

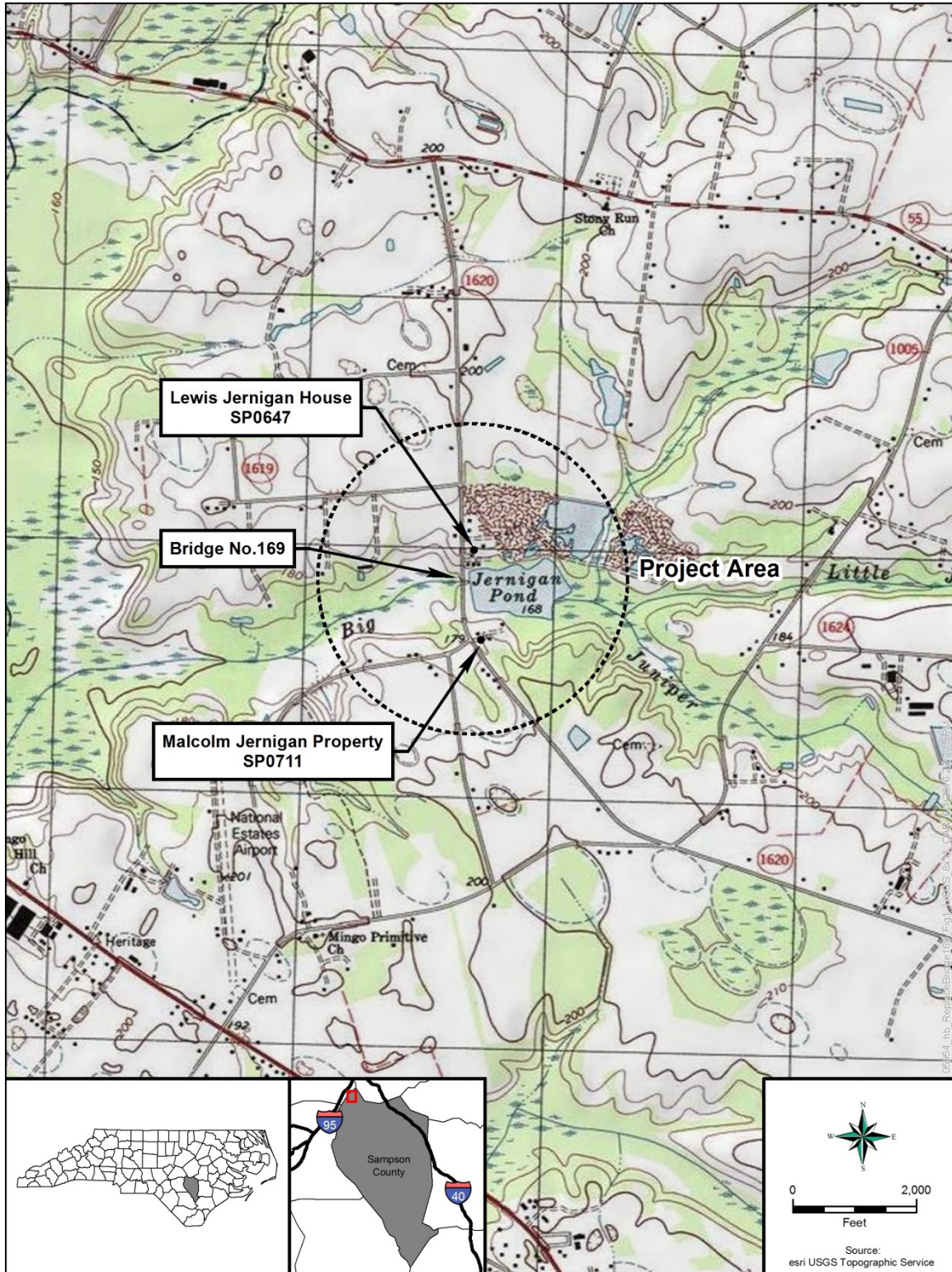
NCDOT defines this project's Area of Potential Effects (APE) as 75 feet on either side of Bridge No. 169 and 300 feet from each end of that structure. NCDOT Architectural Historians reviewed the properties within the APE and determined that two properties greater than 50 years old warranted further evaluation: Lewis Jernigan House (SP0647) and the Malcolm Jernigan Property (SP0711) (**See Figure 2**). This project is subject to review under the *Programmatic Agreement for Minor Transportation Projects* (NCDOT/NCHPO/FHWA, 2007). NCDOT architectural historians established an APE for each project and conducted a preliminary investigation, identifying resources warranting additional study and eligibility evaluation. Sampson County Bridge No. 169 is not addressed in this report. Built in 1950, the structure does not exemplify any distinctive engineering or aesthetic type and is not eligible for the NRHP.

Documentation and research for this project was conducted in accordance with applicable state and federal guidelines as part of the compliance process established in Section 106 of the National Historic Preservation Act of 1966, as amended (36 CFR 800). McCormick Taylor, Inc. architectural historian Charles Richmond directed the survey effort and prepared the report and Jerry A. Clouse served as project manager. Mr. Richmond and Mr. Clouse both meet the Secretary of the Interior's qualifications for history and architectural history (36 CFR Part 61). Historian Joseph Jasinski assisted with background research and report writing.

McCormick Taylor, Inc. staff conducted the field survey and background research between May 25 and 27, 2016. The North Carolina – Historic Preservation Office (NC-HPO) Survey and Planning Archives in Raleigh, North Carolina was consulted regarding previous surveys and to obtain NRHP nomination forms. Project staff conducted research at the North Carolina State Archives in Raleigh and Sampson-Clinton County Library, in Clinton, North Carolina. Land records were researched online and at the Sampson County Tax Assessment Office and Sampson County Recorder of Deeds Office. Philip Teachey, President of the Sampson County Historical Society, was contacted regarding the general history of Sampson County.

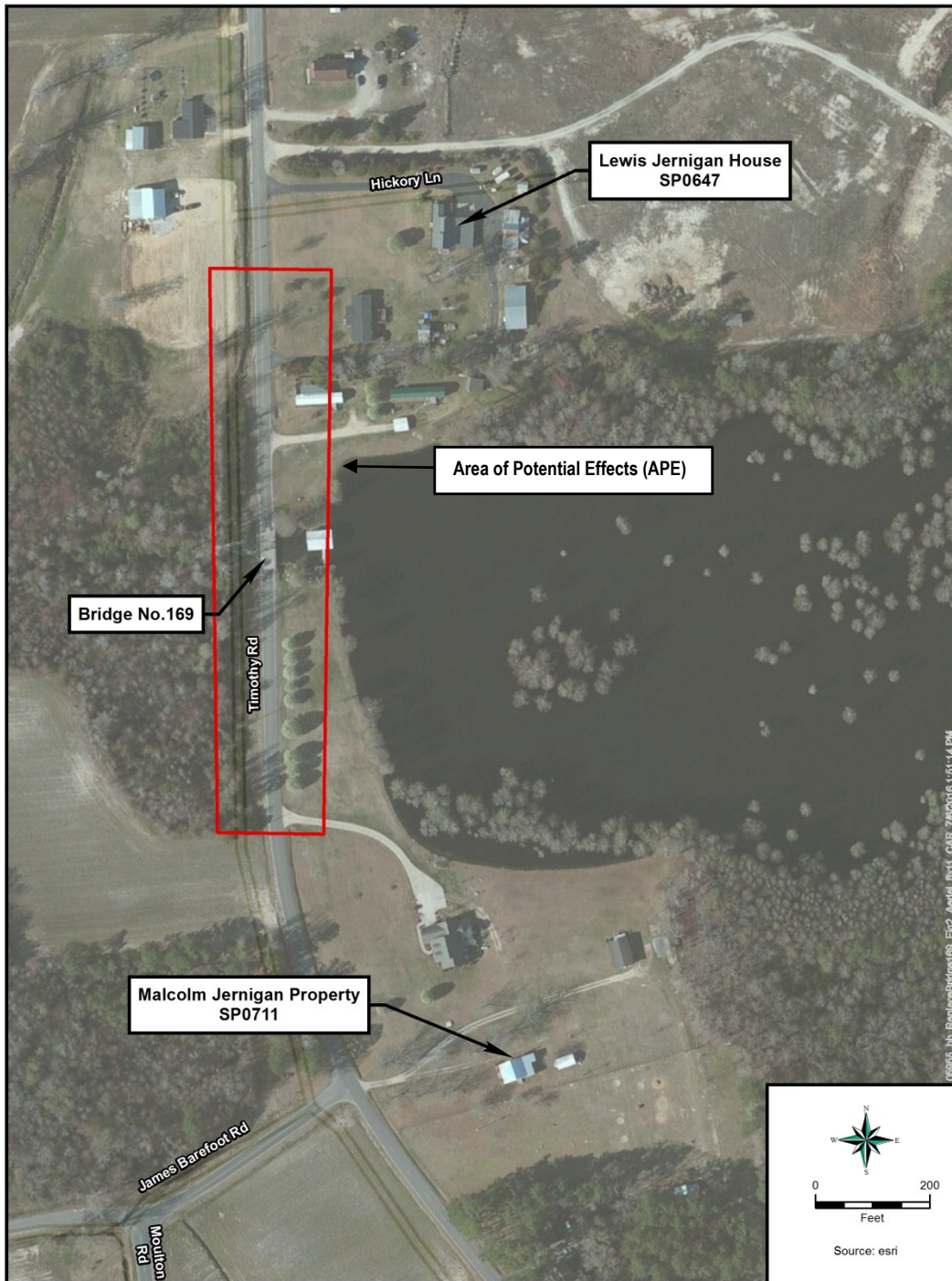
This report includes an eligibility evaluation of one previously recorded resource, Lewis Jernigan House (SP0647), and one newly identified resource, Malcolm Jernigan Property (SP0711), located at 9930 Timothy Road. This report meets the standards set forth by the NC-HPO's Architectural Survey Manual, *Practical Advice for Recording Historic Resources*, and NCDOT's *Section 106 Procedures and Report Guidelines*.





**Figure 1: Project Location Map  
Sampson County, North Carolina<sup>1</sup>**

<sup>1</sup> Dunn, NC USGS Quadrangle Map, 1997



**Figure 2: Resource Map  
Sampson County, North Carolina<sup>2</sup>**

<sup>2</sup> Esri, 2016

## Eligibility Evaluation

### SP0647: Lewis Jernigan House



Resource Name	Lewis Jernigan House
HPO Survey Site #	SP0649
Street Address	Timothy Road
PIN	14004863501
Construction Date(s)	ca.1800, ca. 1840, ca. 1870
NRHP Recommendation	Not Eligible

### Architectural Description

The Lewis Jernigan House (SP0647) is situated on a 1.40 acre tract along the east side of SR 1620 (Timothy Road) approximately one mile south of the intersection with SR 55 (Harnett Dunn Highway). Located in Plain View Town northwestern Sampson County, the property is bound to the north by Hickory Lane. Late twentieth century residential properties are found adjacent to Timothy Road to the north and south of the Lewis Jernigan House. A paved driveway extends east from SR 1620 to a parking area to the north and east of the house. The property consists of a residence, stable/office, and storage shed (**See Figure 3**). The house was built in several stages over the course of the early to mid-nineteenth century and includes several modern additions.

In 1979 the Lewis Jernigan House was surveyed by Thomas Butchko as part of a Sampson County Department of Community Development survey. The Jernigan Family House was documented on a State of North Carolina Division of Archives and History Individual Property Form and received the HPO Survey Site # SP0649, but does not appear to have been evaluated for the NRHP at that time. The Lewis Jernigan House was noted in the 1979 Sampson County Multiple Resources Nomination Form, but was not among those individual resources determined eligible for listing in the NRHP in 1986.

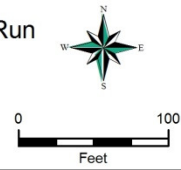
The Lewis Jernigan House appears to have been re-oriented to front onto SR 1620 (Timothy Road) during the late twentieth century, based upon a comparison of available mapping and information included with a State of North Carolina Division of Archives and History Individual Property Form prepared in 1979 by Thomas Butchko. In 1979 the house was oriented to face south toward the location of the mill house and dam (**See Figure 4**). Photographic evidence from the 1979 nomination form supports the re-orientation of the house to face west toward SR 1620 (Timothy Road). The physical description prepared by Butchko clearly indicates that the house did face south.



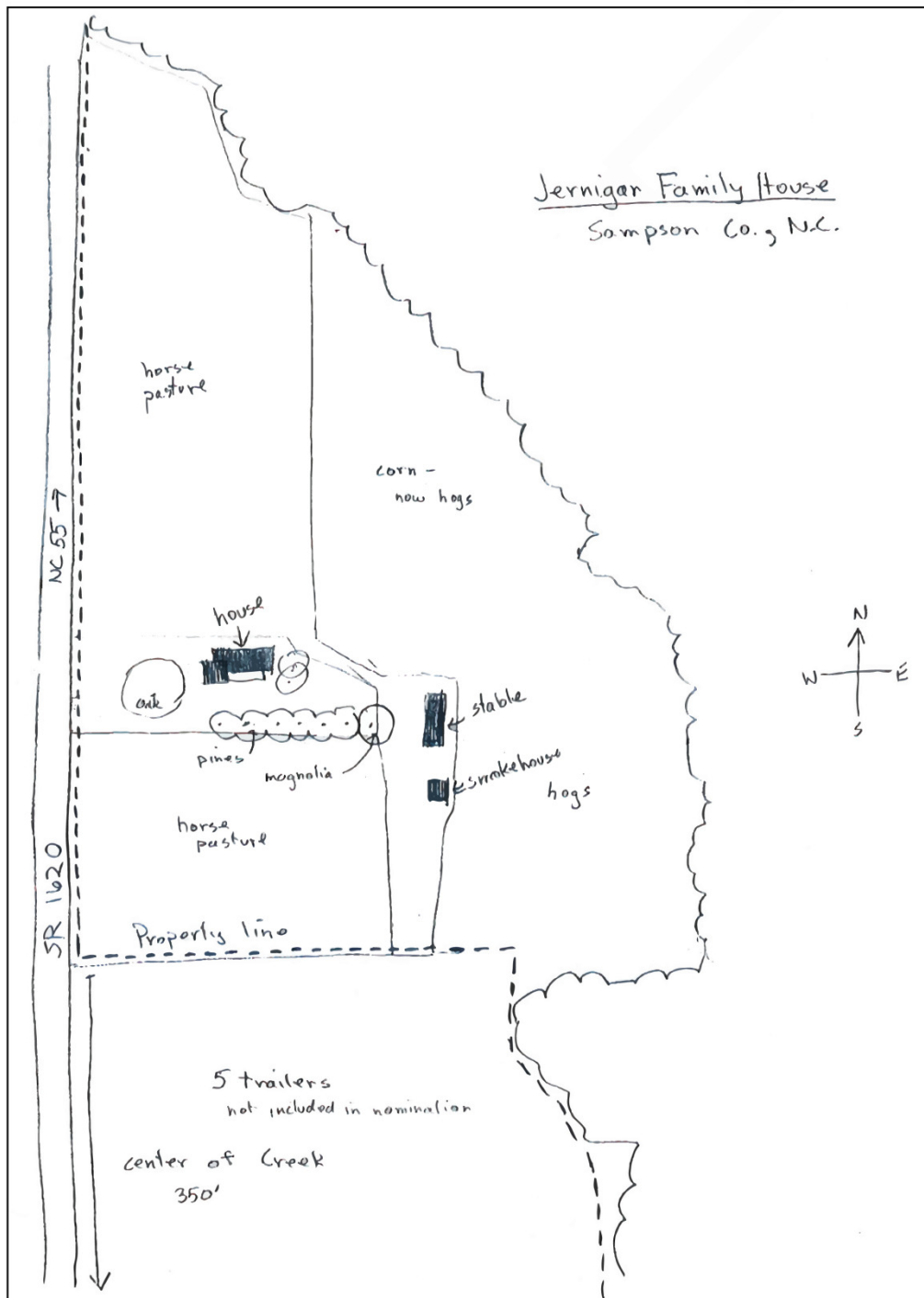
**Figure 3: Site Plan**  
NRHP Eligibility Evaluation of the Lewis Jernigan House (SP0647)  
Replace Bridge No. 169 on SR 1620 (Timothy Road) over Big Juniper Run  
Sampson County, North Carolina

 Parcel Boundary

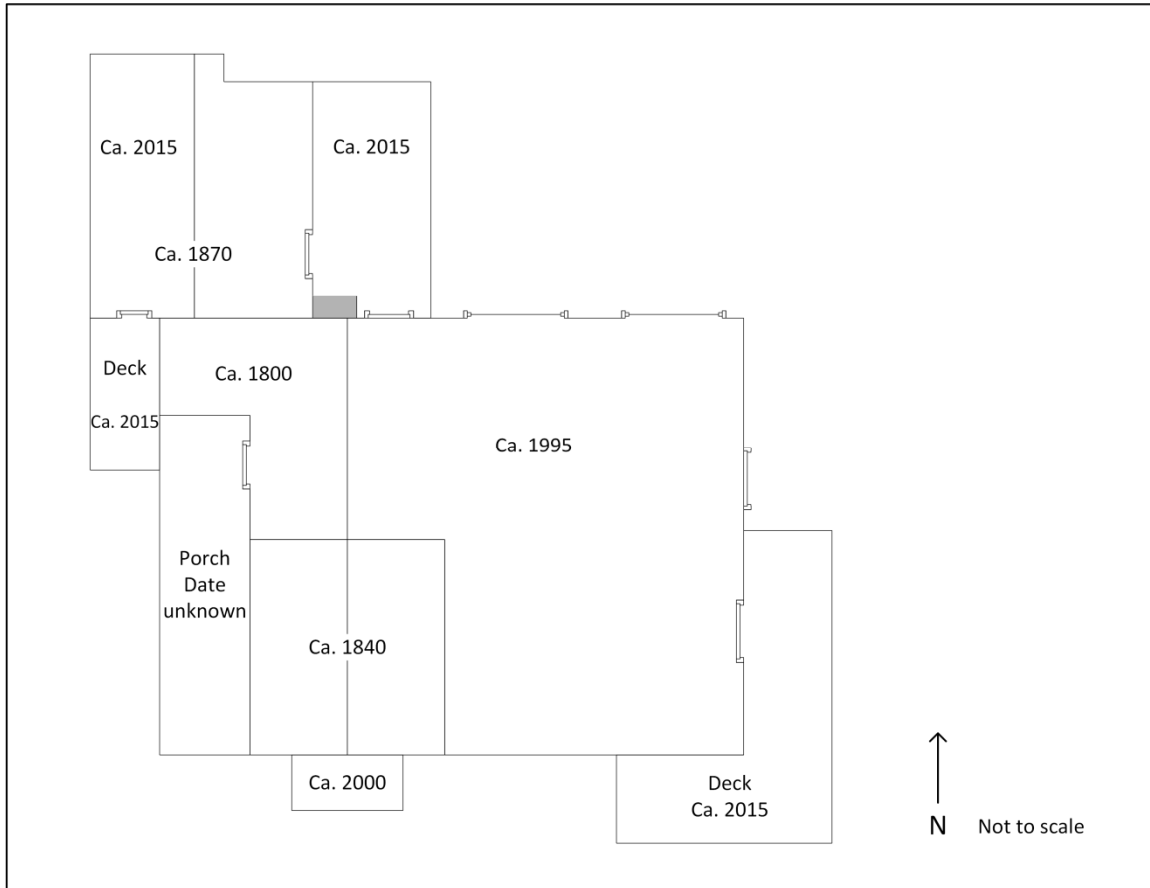
Source: esri and NC OneMap



<sup>3</sup> esri and NC OneMap



**Figure 4:** Site Plan prepared for the Lewis Jernigan House in 1979. Note the orientation of the house to the south (Source: Jernigan Family House, State of North Carolina Division of Archives and History Individual Property Form, 1979).



**Figure 5.** Plan – Lewis Jernigan House <sup>4</sup>

The earliest section of the Lewis Jernigan House is the central, three-bay, one-and-a-half story side gable structure (**See Photographs 1 and 2**). This section is an example of an altered hall and parlor type residence. A flight of steps with wood handrail provide access to the full width porch set along the façade. The porch has a stucco encased foundation, wood plank deck, and vinyl fluted columns. The house features a central wood paneled door along the original three-bay section. The fenestration along the west elevation consists of single and paired rectangular one-light windows. The exterior brick chimney along the north elevation extends through the eave.

<sup>4</sup> Sampson County Tax Department Property Assessment Website, Clinton, NC. The interior was not accessible at the time of the field investigations.



**Photograph 1:** View looking east at the Lewis Jernigan House (SP0647).



**Photograph 2:** View of the main entrance, looking northeast.

Adjoining the one-and-a-half story ca. 1800 frame structure to the south is a two-story, two-bay frame section.<sup>5</sup> The ca. 1840 two-story frame section features a vinyl siding exterior and asphalt shingle roof. The west elevation faces onto SR 1620 and features a continuation of the shed roof porch. The first floor windows include a one-light rectangular window with vinyl surround and a one-over-one modern window with vinyl surround. The fenestration on the first floor of the south elevation is composed of modern one-over-one windows with vinyl surrounds. The south elevation has a second story porch, supported on square wood posts, with a wood balustrade and wood deck. A set of paired glass doors with vinyl sashes provide access on the second floor. A cloth awning is above the doors.

Along the east elevation is found a one-story, shed roof lean-to (**See Photograph 3**). The addition has a vinyl siding exterior and asphalt shingle roof. The lean-to includes a 25 foot by 15 foot shed roof extension. The windows along the south elevation are one-over-one modern replacements with solid, fixed wood shutters. A low, wood deck with vinyl lattice is found at the southeast corner of the lean-to addition. Two modern doors are set along the east elevation. A modern 25 foot by 27 foot garage is attached to the north elevation of the lean-to (**See Photograph 4**). The garage features two bays with roll up vinyl doors. A one-over-one window with vinyl sash and single fixed vinyl shutter is located along the north elevation.

There is a one-story addition to the north elevation of the original section of the house. The addition appears to have been made ca. 1870 during the ownership of Lewis Jernigan and was utilized as a kitchen. This addition has been almost completely subsumed by modern frame additions which make the original ca. 1870 section indistinguishable. The frame addition rests on a concrete block foundation and has a vinyl siding exterior (The exterior sheathing has been replaced at several locations on the addition). A door and window are set along the south elevation and are accessed by the wood deck that connects with the original section of the Lewis Jernigan House. The wood deck has a concrete block foundation and fence with vinyl posts and balustrade. Four modern one-over-one windows with vinyl surrounds are found along the west elevation. The north elevation has a window-door-window configuration. Modern one-over-one windows with vinyl surrounds flank the door. A shed roof porch extends along the north elevation of the one-story addition and features a wood deck with square wood posts (**See Photograph 5**). The porch roof is sheathed in asphalt shingles. Renovations are currently being made to the area beneath the porch.

The Lewis Jernigan House included several elements associated with the Federal style, based upon the information presented in the a State of North Carolina Division of Archives and History Individual Property Form prepared by Thomas Butchko in 1979. The Federal style elements at that time consisted of mantels and various other interior detailing. The interior was not accessible at the time of field investigations and the

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<sup>5</sup> The field notes for the 1979 form prepared by Thomas Butchko suggests “hewn logs” were used in construction, but he does not provide specific information on which sections had the log construction. Photographs taken in 1979 do not provide evidence of the log construction and it is not recorded in the final version of the physical description prepared by Butchko.



existence of the Federal style elements could not be confirmed. The exterior does not include elements and features associated with the Federal style.

A one- and two-story, mid-to-late twentieth-century, frame stable/office is located immediately east of the Lewis Jernigan House (**See Photograph 6**). The central portion is a one-and-a-half-story, three-bay, gable-front building that has one-story lean-tos attached to both the north and south elevations, as well as a two-story, two-bay addition connected to the east elevation. It has a concrete foundation, standing-seam metal exterior, and a front-gabled standing-seam metal roof. The fenestration includes modern replacement one-over-one, four-over-four, and six-over-six, double-hung windows with vinyl sash. The central portion has a window-door-window configuration that is recessed under the roof to create a small porch, which acts as the main entrance point. Double-leaf standing-seam metal doors provide access to each lean-to addition, while a roll-up aluminum garage door and a raised-panel vinyl door with a nine-light window provide additional entrance points for the lean-to on the south elevation. The two-story rear addition is accessed by wood steps and a second-story porch that lead from the south elevation.



**Photograph 3:** View looking northwest at rear lean-to and extension.



**Photograph 4:** View looking southwest at the modern garage addition.



**Photograph 5:** View of ca. 1870 addition with modern porch.

Located to the north of the stable/office building is a gable front frame (**See Photograph 7**). The shed rests on concrete piers and has a vertical board exterior and standing seam metal roof. Stairs lead to a plywood door along the west elevation. A one-bay shed roof extension extends along the south elevation.



**Photograph 6:** View looking southeast at the stable/office building.



**Photograph 7:** View looking southeast at the frame storage shed.

## Historic Context

The earliest section of the Lewis Jernigan House is believed to have been constructed ca. 1800 under the ownership of Joel Godwin. The one-and-a-half story, side gable dwelling was originally oriented to face south, looking onto Jernigan Pond. In 1812 Joel Godwin died and the property was acquired by the Martin Jernigan in 1832.<sup>6</sup> Martin Jernigan (1794-1860) was a prosperous farmer, landowner, and slave owner in Sampson County. Martin Jernigan owned other tracts in addition to the subject property and it has not been established that he resided at the Mingo Township farm. The estate of Martin Jernigan is a testament to his success as a farmer and mill owner. At the time of his death he owned a large number of livestock, including horses, cattle, and hogs. Lewis Jernigan, his eldest son, purchased sixteen pigs, two heifers, one cow, and a bay horse (valued at \$99.75) for his farm from his father's estate, in addition to numerous household items. Martin's estate included an extensive inventory of home furnishings, surplus agricultural produce, and loans/investments to his children and individuals in the community.<sup>7</sup>

Lewis Jernigan (1822-1892) received the Mingo Township farm from his father in 1855, although it appears he resided on the farm prior to that time. Lewis owned the farm from 1855 until his death in 1893. He is thought to have been the person responsible for the two-story frame addition to the original dwelling around 1840. Lewis Jernigan operated a general farm and in 1850 his production included corn, rye, oats, sweet potatoes, and peas

<sup>6</sup> Butchko, Jernigan Family House Form, 1979

<sup>7</sup> Sampson County Probate Records, Martin Jernigan.

and beans. The farm also included thirty-five swine and fifteen sheep.<sup>8</sup> In 1860 he was recorded as owning land valued at \$600, but by 1870 his land holdings were valued at \$5,000. This is most likely the result of the final division of the estate of Martin Jernigan. Lewis Jernigan was married to Joanna Strickland and they had twelve children. In 1860 his mother-in-law also resided on the family farm. In addition to his farm, Lewis operated a grist mill. The grist mill was located along Big Juniper Run, just south of the Lewis Jernigan House. The grist mill is extant on the Martin L. Jernigan Property (SP00711) and consists of the mill house and dam. (*Further discussion related to grist mills can be found on page 29 under the historic context for the Malcolm Jernigan Property*) Following the Civil War Jernigan introduced cotton and in 1880 he produced 2,700 pounds.<sup>9</sup> In 1891 Lewis Jernigan was recorded as a farmer in Mingo Township and he owned 204 acres valued at \$722. He also owned one horse, two cattle and 14 hogs. Tax records did not note ownership of a grist mill at that time.<sup>10</sup>

The Lewis Jernigan farm passed to Martin L. Jernigan, his oldest son. In 1910 he owned a general farm and produced a variety of grains and cotton.<sup>11</sup> In 1918 Martin L. Jernigan's estate was subdivided into nine separate tracts, which were distributed among his heirs. The *Division of the M.L. Jernigan Land, April 1918* plan noted that Tract No. 9, a 114 acre tract which included the Lewis Jernigan House, was assigned to Flora Jernigan Stewart. On June 5, 1962 she sold the property to John B. Ingraham, of Harnett County. Ingraham developed subdivision plans and reduced the tract into smaller individual lots. The date at which the property ceased farming has not been established, but appears to have continued into the late twentieth century. The property was subdivided in 1962 for residential development, which most likely limited agricultural production. During the early 1980s the owners continued to raise livestock, including hogs, and stabled horses on the property. The land fronting Timothy Road was developed for residential housing during the late twentieth century and the area south of the Lewis Jernigan House converted to use for various commercial uses. The property containing the Lewis Jernigan House was reduced to 1.40 acres. On November 13, 1981 Ingraham sold the property to Ralph and Martha Barefoot. The property was transferred to Martin Barefoot on January 17, 1984. Martin and Angela Barefoot retained the property until 1991 when it was deeded to the First Federal Savings Bank of Dunn, North Carolina.<sup>12</sup>

The Lewis Jernigan House was associated with a general farming operation throughout the nineteenth and much of the twentieth century. Historically, agriculture has been a major industry for Sampson County and has helped to shape the built environment and landscape. By the late eighteenth century in Sampson County agricultural production had progressed from a subsistence level to a market economy. Corn, cotton, and livestock composed the largest segment of the agricultural production during the early nineteenth century. Tobacco increased in production following the conclusion of the Civil War. By 1945 there were 10,637 farm families residing in Sampson County, with an estimated

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<sup>8</sup> 1850 United States Agricultural Census

<sup>9</sup> 1880 United States Agricultural Census

<sup>10</sup> Sampson County Tax Assessment, 1891 on file at NC State Archives, Raleigh, NC.

<sup>11</sup> 1910 United States Population Census

<sup>12</sup> Sampson County Recorder of Deeds, Books 734: 548; 738: 215; 982: 180; 1008: 343; and 1107: 720.

37,876 persons engaged in farming and farm related fields. In 1945, over 70,000 acres were dedicated to corn production in the county. Tobacco, cotton, and soybeans constituted the next leading agricultural products in the county. The total estimated value of agricultural goods for 1945 was \$23,053,486.<sup>13</sup>



**Figure 5.** View of Lewis Jernigan House (taken from Thomas Butchko's *An Inventory of Historic Architecture: Sampson County, N.C., 1984*).<sup>14</sup>

A search of the North Carolina HPOWEB GIS Service identified numerous early to mid-nineteenth century farm complexes in Sampson County. While these properties are not identical in form and design as the Lewis Jernigan House, they do share similar characteristics and date from the same period. The search identified numerous farm properties which provided information related to the agricultural development of Sampson County. The information on farm properties provided insight into farm production, inventories of agricultural outbuildings and farmhouse forms encountered in Sampson County.

The agricultural complexes of Sampson County include large plantations with prominent farmhouses, including the NRHP listed James H. Lamb Farm (SP0096) and Lewis Highsmith Farm (SP0122). Sampson County also retains numerous examples of modest farm properties developed during the nineteenth century which are representative of the traditional farming operations. The county's farmhouse population retains examples of prominent architectural styles from throughout the early to mid-nineteenth century, including Federal and Greek Revival styles. The housing population also features more modest dwellings, often incorporating elements of popular styles for the period or embracing local vernacular designs. The hall-and-parlor plan of the Lewis Jernigan

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<sup>13</sup> Taft, 1946: 33.

<sup>14</sup> Butchko 1984: 206.

House can be found utilized on numerous Sampson County properties, including the Hollinsworth-Hines Farm (SP0577), Cherrydale (SP0570), and others. The Lewis Jernigan House also includes traditional building design from the region in the form of the “story and a jump.” Like many properties, the Jernigan house has been expanded and altered throughout its long history.

During the nineteenth century the Lewis Jernigan farm shared in many of the agricultural trends held in common with Sampson County farms. Lewis Jernigan’s farm was prosperous during the early to mid nineteenth century and functioned as a general farm, producing grains, vegetables, and livestock. In the period following the Civil War the farm value and production declined, but gradually increased during the late nineteenth century. By 1870 the farm was valued at \$5,000, but during the twentieth century agricultural production fell and the farm was reduced in size as the property was subdivided as part of inheritance distribution and for modern residential development. By the late twentieth century farming and raising livestock continued, but on a smaller scale. As a result the traditional outbuildings expected on a farm property have been removed.

The farmhouses associated with the Marcheston Killett Farm and Livingstone Oates Farm are modest dwellings which retain a strong degree of integrity, unlike the Lewis Jernigan House which has undergone extensive alterations and additions. The Hollinshead-Hines farmhouse features a ca. 1800 hall-and-parlor form which was modified with a frame addition ca. 1870. The house features an engaged porch with rear additions to provide increased living space. The side gable house has a large centrally located projecting gable. Another Sampson County farmhouse, Cherrydale is a two-story structure with a hall-and-parlor plan and rear ell that was constructed in 1832 for Lewis Moore. The family was prominent in the area during the nineteenth century and the farm included over 800 acres in 1850. The house was recognized as an architectural unembellished vernacular example of an early nineteenth century farmhouse with good integrity.<sup>15</sup>

The Marcheston Killett Farm (SP0030), Livingstone Oates Farm (SP0044) and Hollinsworth-Hines Farm (SP0577) are good examples of farming operations located in Sampson County. The Lewis Jernigan House developed throughout the course of the nineteenth century as a general farming operation that produced a variety of grains and cotton. The family also maintained a variety of livestock to support the farming operation, including swine and horses. Unlike these three farm properties, the Lewis Jernigan House has suffered the loss of its agricultural outbuildings and no longer conveys its significance as a farm property. In particular, the Jernigan farm lacks agricultural outbuildings typically expected of a property with livestock, including stables, hog pens, chicken houses, silos, etc.

The Marcheston Killett Farm is considered an excellent example of the traditional farmstead as part of the rural economy of nineteenth century Sampson County. The farmhouse is an intact example of a prevalent design of the period between 1850 and 1900 and retains much of its Victorian ornamentation. The Marcheston Killett Farm also

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<sup>15</sup> Butchko, Cherrydale Form, 1985.

retains a large complement of agricultural buildings, including barn/stable, silos, chicken houses, tobacco barns, hog shed, pump houses, and other buildings expected of a period farming operation.<sup>16</sup> The Livingstone Oates Farm (SP0044) is another good example of a largely intact Sampson County farmstead and was noted for its traditional building forms and its substantial compliment of outbuildings. The property includes a one-story, double pile frame farmhouse with rear ell. The house also features a prominent gable front porch and modest Greek Revival design elements. The farm includes numerous outbuildings, including the barn/stable, tractor shed, pack house, and root cellar. In addition, the property retains the family cemetery.<sup>17</sup>

The Hollinsworth-Hines Farm is similar to the Lewis Jernigan House in that both properties were owned by prosperous farmers during the nineteenth century and their farmhouses were built at around the same time period. The property also retains a large contingent of agricultural outbuildings, a barn, smokehouse, chicken coops, corn crib, pump house, silos, tobacco barn, and additional equipment and frame sheds. The farm was a prosperous operation and was recorded with producing large amounts of rice and corn in 1850. That same year the property included livestock valued at \$550 and consisted of 40 sheep and 100 swine. Agricultural production declined immediately following the Civil War, but general farm production eventually increased during the late nineteenth century.<sup>18</sup>

### **National Register Evaluation**

The Lewis Jernigan House (SP0647) is composed of an original core structure (ca. 1800) and a two-story ca. 1840 addition. The building has been expanded and modified on several occasions during the late nineteenth, twentieth and twenty-first centuries. The Lewis Jernigan House retains its historic location, although the house appears to have been reoriented to face onto Timothy Road. The overall integrity of design, materials, and workmanship has been compromised due to numerous alterations and use of modern replacement materials. The exterior features vinyl siding and the standing seam metal roof has been replaced with asphalt shingle. The porch members have been replaced with synthetic columns and the fenestration throughout the building consists largely of modern replacements with vinyl sashes. The aspects of setting, feeling and association have been diminished as a result of the numerous alterations and additions. The property no longer retains agricultural buildings and farmland associated with agricultural operations.

The Lewis Jernigan House was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register Criteria for Evaluation."* In order to be considered eligible for the NRHP under Criterion A, "a property can be associated with either (or both) of two events: [...] a specific event marking an important moment in American prehistory or history [or] a pattern of events or a historic trend that made a significant contribution to the development of a community, a State, or the nation." Under Criterion A, the association of the property must also be considered

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<sup>16</sup> Butchko, Marcheston Killett Farm Form, 1985.

<sup>17</sup> Butchko, Livingstone Oates Farm Form, 1985.

<sup>18</sup> Butchko, Hollinsworth-Hines House, 1985.

important. The property is not known to be associated with any important historical event or trend in Sampson County under Criterion A. The property no longer retains the agricultural outbuildings and farmland associated with its historic operation. The property is recommended not eligible for the NRHP under Criterion A.

As evaluated under Criterion B, the Lewis Jernigan House is associated with the Jernigan family of Sampson County. To be considered eligible under Criterion B a property must be associated with a person or persons that have demonstrated importance on a local, state, or national level and be significant in our past. The Jernigan family settled in Sampson County during the late eighteenth century and established a grist mill and farming operation, but the owners of this property are not known to have gained notable importance nor are they considered individually significant. The property is recommended not eligible for the NRHP under Criterion B.

As evaluated under Criterion C, the Lewis Jernigan House is not recommended eligible for the NRHP. In order to qualify as significant under Criterion C a resource must embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic values. The Lewis Jernigan House exhibits characteristics of an early nineteenth century frame dwelling in rural Sampson County. Location is the place where the historic property was constructed or the place where the historic event took place. The Lewis Jernigan House retains its historic location, but appears to have been reoriented during the late twentieth century based on a comparison with the previous NRHP nomination (See Figure 6). The Lewis Jernigan House has undergone extensive alterations and additions which have compromised the overall integrity of the property. The original wood siding, foundation, and standing seam metal roof have been removed. The form, plan, space, structure, and style of the property have been altered by the use of modern materials and additions. The setting has been impacted by modern residential development and the loss of historic outbuildings. The property is recommended not eligible for the NRHP under Criterion C.

Some of the earliest expressions of architectural style displayed in Sampson County was the use of simple Federal detailing on rural buildings. This detailing began in the early nineteenth century and was a common element of these buildings until the mid-nineteenth century. This type of detailing is seen in the ca. 1800 center portion of the frame, Lewis Jernigan House (SP0647), as well as in the ca. 1840 addition. The interior of the Lewis Jernigan House was not accessible at the time of the survey and it is unknown if the structure retains the Federal design elements, including the prominent mantles. Several Federal style buildings have been identified in Sampson County and many of these retain a high level of historic integrity. The Lewis Jernigan House is therefore not a significant example of the Federal style.

The Lewis Jernigan House is a modified and extensively altered dwelling which includes components built at various times throughout the nineteenth century. The original structure was a ca. 1800 frame vernacular dwelling with a hall and parlor form which was expanded on several occasions. A ca. 1840 story and a jump was attached to the original building during the ownership of Lewis Jernigan. As noted, the ca. 1840 structure has the



form of the story and a jump form, a regional building type which generally consists of a main story with a hall and parlor plan and an attic level which functioned as sleeping quarters or additional living space. The attic level of the story and jump form generally lacks fenestration, except within the gable ends, but examples featuring cross gables are known. A review of the North Carolina HPOWEB GIS Service did not identify any properties recorded as examples of the story and a jump form in Sampson County, although this does not indicate that the building type is not present. Several good examples of the story and a jump form can be found in nearby Martin County. The ca. 1840 Wynne Homestead (MT0384) is a frame three-bay story and a jump form with exterior brick chimneys and a one-story wing. The property also retains agricultural outbuildings associated with the farm operation. The Bowen Farm (MT0626) is an example of a three-bay story and a jump with a prominent centrally located cross gable. The Bowen Farm also retains a collection of agricultural outbuildings. Both properties are largely unaltered and retain a strong degree of integrity.

The Lewis Jernigan House is not known to be likely to yield any new information pertaining to the history of building design or technology, nor of significant patterns of history in the area. Therefore, the resource is recommended not eligible under Criterion D.

In conclusion, the Lewis Jernigan House is recommended **not eligible** for listing in the NRHP.

## Eligibility Evaluation

### SP0711: Malcolm Jernigan Property



Resource Name	Malcolm Jernigan Property
HPO Survey Site #	SP711
Street Address	9930 Timothy Road
PIN	14053684001
Construction Date(s)	1929, ca. 1995, ca. 2015
NRHP Recommendation	Not Eligible

#### Architectural Description

The 57-acre Malcolm Jernigan Property is situated along the east side of Timothy Street (SR 1026) immediately south of Jernigan Pond. Bridge No. 169 is located at the northwest corner of the property and carries Timothy Road over Big Juniper Run. The Malcolm Jernigan House is situated at the end of an unpaved, tree-lined driveway and faces west onto Timothy Road. The subject house is a three-bay, one-and-a-half story frame vernacular style single family dwelling (**See Photographs 8 and 9**). The house appears to have been built during the early twentieth century based upon background research and physical inspection. Sampson County tax records indicate a 1929 built date. A mill pond and dam are situated immediately east of the bridge. The property includes the Malcolm Jernigan House, a modern (ca. 2000) dwelling and garage, a ca. 1995 secondary dwelling, and a ca. 1930 mill house (**See Figure 7**). The house was vacant at the time of the survey and the interior was not accessible.

The subject house has a brick foundation, vinyl siding exterior, and standing seam metal roof (the metal sheathing along the east slope has been recently replaced). A screened porch is set along the west elevation. The porch is supported on brick piers with wood posts. Concrete stairs lead to the porch and feature flanking brick piers with concrete capping. The house has an off-center wood paneled door with six light window with wood sash. A 9 foot by 11 foot room is set within the porch at the southwest corner of the house and includes a second entrance.

The fenestration along the south elevation is composed of paired four-over-four windows with wood sashes. The windows include fixed vinyl louvered shutters. Paired one-over-one windows with aluminum sashes are found within the rear extension (**See Photograph 10**).

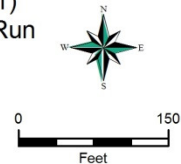
The east elevation is three-bays in width, including a one-story, frame extension at the northeast corner of the house (**See Photograph 11**). The fenestration along the east elevation includes a two-over-two and a one-over-one window, both with aluminum



**Figure 7: Site Plan**  
NRHP Eligibility Evaluation of the Malcolm Jernigan Property (SP0711)  
Replace Bridge No. 169 on SR 1620 (Timothy Road) over Big Juniper Run  
Sampson County, North Carolina

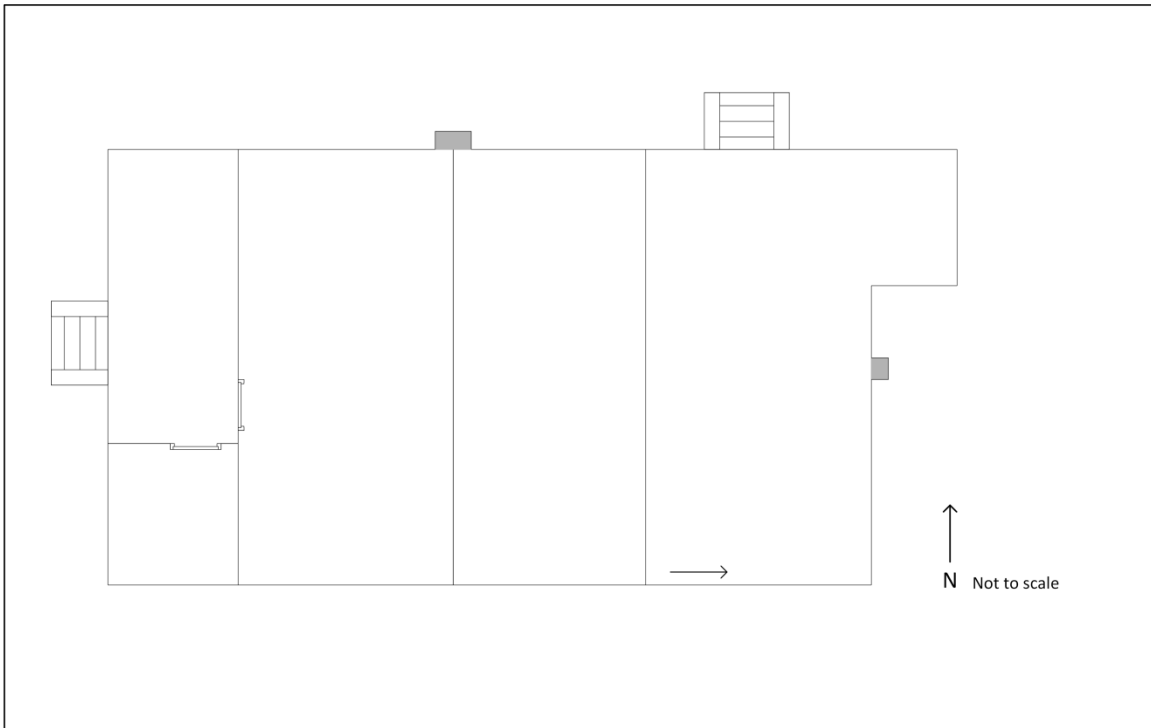
 Parcel Boundary

Source: esri and NC OneMap



\* Built after Esri aerial image taken.<sup>19</sup>

<sup>19</sup> esri and NC OneMap.



**Figure 8.** Floor Plan – Malcolm Jernigan House.<sup>20</sup>



**Photograph 8:** View looking southeast at the 1929 residence on the Malcolm Jernigan Property.

<sup>20</sup> Sampson County Tax Department Property Assessment Website, Clinton, NC. The interior was not accessible at the time of the field investigations.



**Photograph 9:** View looking northeast at the 1929 residence on the Malcolm Jernigan Property.



**Photograph 10:** View looking southwest at the 1929 residence on the Malcolm Jernigan Property.



**Photograph 11:** View of the south and east elevations of the 1929 residence on the Malcolm Jernigan Property.

sashes and vinyl surrounds. A concrete block furnace exhaust extends along the exterior of the east elevation. The frame extension features a concrete brick foundation and vinyl siding exterior. The fenestration includes two-over-two windows with aluminum sashes and a one-over-one with wood sash. Concrete stairs, flanked by low brick walls with concrete capping, provide access to the frame extension. The entranceway features a wood paneled door with three light window with wood sash. A wood handrail is fixed to the concrete capping and brick wall.

The north elevation is three bays deep with the frame extension. The fenestration on the ground floor is composed of four-over-four windows with wood sashes. The ground floor windows include one or two fixed vinyl louvered shutters. The windows on the upper floor are six-over-one with wood sashes and vinyl trim. An exterior corbelled brick chimney is centrally located along the north elevation.

A one-story frame shed is located immediately east of the Malcolm Jernigan House (**See Photograph 12**). The mid-to-late twentieth century frame shed has a gable front, standing seam metal roof with exposed rafter tails. The shed rests on a concrete foundation and has a plywood exterior. The main entrance is set along the west elevation. Paired three light windows are found along the east elevation.



**Photograph 12:** View looking northeast at the frame shed to the east of the residence.

A ca. 1930 mill house and dam are situated northwest of the primary resource (**See Photographs 13 and 14**). The mill house and dam are east of the bridge (Bridge No. 169) carrying SR 1620 (Timothy Road) over Big Juniper Run. The dam associated with the property is a partial earthen and concrete structure which measures approximately 55 feet across Big Juniper Run, including the mill house. The reservoir immediately east of the dam is known as Jernigan Pond. The former grist mill operation consisted of the one-story, frame structure located on top of the dam and the dam structure itself. The frame structure rests upon formed concrete walls, which abut the dam. Historically, the area beneath the mill house contained the milling machinery and turbine, but these elements are no longer present. The mill house has an aluminum siding exterior and a standing seam metal roof and features exposed rafter tails. Two doors are found along the north elevation. Paired wood doors with nine-light windows are located to the east end and a single modern door with a rectangular window is located to the west end. A six-over-six window with wood sash is found on the west elevation.



**Photograph 13:** View looking southeast at the ca. 1930 mill house.



**Photograph 14:** View looking east at the mill house and dam at Jernigan Pond.



A one-story, late twentieth century frame secondary dwelling is located northeast of the primary resource (**See Photograph 15**). The two-bay gable front house has a brick foundation, aluminum siding exterior, and an asphalt shingle roof. A brick stoop is found along the south elevation. The dwelling features a central entrance composed of a plain wood door with a diamond shaped window in its upper portion. A one-over-one window with vinyl sash and surround is adjacent to the main entrance. The fenestration is made up of paired two-over-two windows with aluminum sashes and vinyl surrounds.



**Photograph 15:** South and west elevations of the late twentieth century secondary residence on the property.



**Photograph 16:** View looking northeast at the modern shed.

A modern frame shed is located southeast of the late twentieth century secondary dwelling (**See Photograph 16**). The shed rests on concrete block piers and has an aluminum siding exterior. The gable front shed has an asphalt shingle roof. The shed appears to have been constructed ca. 1970.

A ca. 2000 residence is located on the property, north of the Malcolm Jernigan House. The house is a five-bay, one-and-a-half story Cape Cod style residence with Neo-Colonial Revival elements (**See Photograph 17**). The house has a vinyl siding exterior, brick foundation, and standing seam metal roof. An engaged porch is set along the west elevation and is supported on plain columns with a vinyl balustrade. The fenestration is composed of one-over-one windows with vinyl sashes and fixed, solid vinyl shutters. Three light transoms are found above the windows along the west elevation. The house features a side gable wing to the north and south elevations. A deck is attached to the east elevation. Two gable roof dormers are situated along the west slope of the main block.

A modern frame garage is located east of the modern residence. The two-bay garage has a frame structural system, vinyl siding exterior and asphalt shingle roof. The garage was built in association with the ca. 2000 residence.



**Photograph 17:** View looking northeast at the modern residence located at 9930 Timothy Road.



**Photograph 18:** View looking northeast at well cover.

### Historic Context

The Malcolm Jernigan Property, located at 9930 Timothy Road, was associated with the Jernigan family since the early nineteenth century. Around 1811, Martin Jernigan purchased the farm of Joel Godwin, which included the Lewis Jernigan House (SP0647). The property passed to Lewis Jernigan, who engaged in farming and milling along the Big Juniper Run. The exact date the grist mill began operations has not been established, but the mill was noted as being present during the course of the Civil War.<sup>21</sup>

Lewis Jernigan was a well-established farmer and miller in northern Sampson County. He had established a farm in the area during the early nineteenth century. Martin Luther Jernigan was the son of Lewis Jernigan (1821-1891). In 1891 Lewis Jernigan was recorded as possessing 204 acres valued at \$722<sup>22</sup>. He owned one horse, two cattle, and fourteen hogs. That same year Martin Jernigan owned 150 acres, valued at \$600. He owned one horse, three cattle, and thirteen hogs. In 1893 Martin Jernigan owned the 150 acre tract, along with twenty-nine hogs. Lewis Jernigan died in 1892. By the early-twentieth century Martin Jernigan possessed over 300 acres along Timothy Road.

In March 1918 the estate of Martin Luther Jernigan subdivided the family property into lots that were designated to his children.<sup>23</sup> The original property consisted of 332 acres in Mingo Township along Big Juniper Run. The *Division of the M.L. Jernigan Land* was recorded and filed with the Sampson County's Recorder of Deeds Office in Clinton (See

<sup>21</sup> Butchko, Jernigan Family House Form, 1979.

<sup>22</sup> Sampson County Tax Assessment Records for 1891-1892-1893 at the North Carolina State Archives, Raleigh, NC

<sup>23</sup> Sampson County Recorder of Deeds Office, Deed Book 378: 156.

**Figure 9).**<sup>24</sup> The subdivision plans included nine lots along Big Juniper Run. The lots varied in size from 24 acres to 57 acres. Malcolm J. Jernigan received Lot No. 9 which was composed of two separate tracts. One tract was located along the west side of Timothy Road and consisted of 24 acres. The other tract was the subject property, a 57 acre tract which included the mill house, dam and pond. At the time of the subdivision the tract does not appear to have included a residence. The subdivision plan was confirmed by Sampson County in April 1918. The plan was filed on March 8, 1921, and recorded by Sampson County on March 29, 1921.



**Figure 9:** Division of the M.L. Jernigan Land, April 1918 (Sampson County's Recorder of Deeds Office, Map Book 1 Page 46)

Malcolm James Jernigan Sr. was born on November 22, 1894, in Mingo Township, Sampson County. He was the oldest of seven siblings born to Martin L. and Mary Ann Register Jernigan. Martin L. Jernigan's Sampson County land holdings passed to his children following his death in 1913, at which time Malcolm received the 57 acre tract that included the mill site. The remaining tracts of Martin L. Jernigan were divided into smaller lots and provided to the other children. Deed records do not establish when the property passed from Malcolm Jernigan.

Malcolm Jernigan Sr. married Venie Ellen Tew of Sampson County. The couple had four children, Margaret, Malcolm Jr. (1920-1940), Robert (1928-1983), and Venie. In 1920 Malcolm Jernigan was operator of a general store in the town of Averbosboro in Harnett County, North Carolina. His wife Venie was a seamstress and salesperson at various times during her lifetime. It appears that Malcolm and Venie relocated to the farm property in Mingo Township following the final resolution of the land holdings of Martin L. Jernigan after 1921. The residence on the Malcolm Jernigan property was built in 1929 according to tax records and was occupied by Malcom and Venie. In 1940 Malcolm J. Jernigan was a farmer, but by the 1950s he and his wife had relocated to the

<sup>24</sup> Sampson County Recorder of Deeds Office, Map Book 1 Page 46. Clinton, NC.

town of Dunn. In 1961, Malcolm and Venie Jernigan resided at 304 N. Wilson Avenue in the Town of Dunn, Harnett County, North Carolina.<sup>25</sup> Malcolm Jernigan Sr. died on February 21, 1974, at the age of seventy-nine.

Deed research was inconclusive in establishing at what date the property passed from the ownership of Malcolm Jernigan Sr. The property appears to have been transferred to Robert H. Jernigan, a nephew of Malcolm Jernigan Sr. at some point during the mid-twentieth century. Robert and Sallie Lee Jernigan owned the property until 1968. On March 21, 1968 they transferred the property to George and Willie Barefoot Jernigan and Archie Graham Jernigan. George Alton Jernigan was born on August 21, 1909 in Wayne County, North Carolina. He was married to Willie Lee Barefoot (1915-2003). George was the son of Archibald and Ada Jernigan, and brother of Robert H. Jernigan (1921-1999). The property is currently owned by Archie Graham Jernigan, who is the son of Willie Lee Barefoot Jernigan. He received full ownership of the property on December 2, 2002.

The earliest recorded mill in Sampson County was established in 1751.<sup>26</sup> In 1793 William Smith petitioned to construct a mill on a Branch of the Juniper Run.<sup>27</sup> The late eighteenth and early nineteenth centuries witnessed the construction of numerous mills throughout the county. In 1880 there were eighteen mills in operation in Sampson County.<sup>28</sup> Blackman's Mill, Culture, Curtis Anders, House-Autry Mills, Isaac Lane Mill, Lewis Jernigan Mill (the subject property), Preston Jernigan Mill, Rob Crumpler Mill, Sampson Warren Mill, Stacy Crumpler Mill, Tart Mill, Turlington-Riley Mill, Vann-Boney Mill, Warren Mills, and Williams Mill were among the active mills in Sampson County during the course of the twentieth century.

The grist mill on the Jernigan family property was established prior to the Civil War. The exact date of the construction of the original mill is not known. In the 1860 population census for Mingo Township, Sampson County, Rival Jones was enumerated immediately following Lewis Jernigan. Jones was a sixty-seven year old who was listed as a miller. Jones resided in the township along with his wife Susan and their seven children.<sup>29</sup> It would appear that the Jernigan family employed individuals to operate and maintain their mill. According to local histories, the mill was occupied by both Union and Confederate forces during 1864 and used for milling grains.

Martin L. Jernigan apparently continued to operate the grist mill into the twentieth century, although the mill structure was replaced around 1930 with a modern operation at or near the original location. The mill was replaced during the ownership of Malcolm J. Jernigan and continued into the mid twentieth century, but it has not been established when operations ceased. A map produced by the North Carolina State Highway and

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<sup>25</sup> Hill's Dunn-Erwin (Harnett County, NC) City Directory 1961: 273.

<sup>26</sup> Bizzell 1989: 5.

<sup>27</sup> Bizzell, 1991: 6.

<sup>28</sup> 1880 United States Manufactures Census

<sup>29</sup> 1860 United States Population Census

Public Works Commission in 1938 notes the presence of the grist mill.<sup>30</sup> In 1940 Amos Lucas was identified in census records as a miller in Mingo Township, Sampson County. Lucas is enumerated in the census records as occupying the property adjacent to Malcolm J. Jernigan. Amos Lucas resided on the property with his wife, Virginia Lucas. The census records noted that the operation was a corn mill.

Grist mills prior to the twentieth century were water-powered and required a constant and reliable source of water. Dams and mill ponds were components of the typical mill operation. Construction methods varied, but early mills were frequently of log construction. Grist mills were frequently built in association with sawmills or other industrial operations. The grist mills of the early twentieth century generally encompassed a mill house resting upon a concrete or earthen dam. The mill house had an upper gable roof section which housed the milling equipment. The dam gates and water turbines were located beneath the mill house.<sup>31</sup>



**Figure 10:** Photograph of an early twentieth century Sampson County grist mill, no date (Sampson County Historical Society).

Oscar Bizzell, local historian and member of the Sampson County Historical Society, researched deed and court records from 1751 to 1810 and identified documentation related to 209 watermills in Sampson County. Local historian Curtis Anders noted in the October 2015 edition of the *Huckleberry Historian*, the Sampson County Historical Society newsletter: "Prior to 1900 there were at least 200 water powered mills in Sampson County."<sup>32</sup>

During the early to mid-twentieth century a number of Sampson County mills were rebuilt or upgraded, including the Lewis Jernigan grist mill. The Crumpler family was

<sup>30</sup> North Carolina State Highway and Public Works Commission 1938: n.p.

<sup>31</sup> Anders, 2015: 11

<sup>32</sup> Email correspondence from Philip Teachey, president Sampson County Historical Society.

active in mill construction and rehabilitation during the period. The Vann Boney Mill (1934), Rob Crumpler Mill (1935) and Turlington-Riley Mill (1965) were attributed to the Crumpler family. During the early to mid-twentieth century mill operations converted to electric power as a more reliable means of power. Increased mechanization, transportation improvements, and competition from Mid-Western farm operations further hampered the milling industry. The House Mill, located near Newton Grove, retains its dam, mill house and associated industrial buildings. This mill is noted as being among the longest continually operating mills in Sampson County.

### **National Register Evaluation**

The Malcolm Jernigan Property (SP0711) is composed of a 1929 residence, ca. 1930 millhouse and dam, two modern residences, a garage, and several outbuildings. The setting of the property has been impacted by modern development, including the introduction of a modern residence, garage and late twentieth century dwelling on the subject property. The Malcolm Jernigan House was built in 1929 and retains a good degree of integrity of design, materials, and workmanship. The millhouse has been altered with the use of replacement materials and has suffered the loss of the machinery historically associated with its operation. Overall, the aspects of setting, feeling and association have been diminished as a result of the introduction of modern residence and secondary buildings. The property no longer retains agricultural buildings and farmland associated with agricultural operations.

The Malcolm Jernigan Property was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register Criteria for Evaluation."* In order to be considered eligible for the NRHP under Criterion A, "a property can be associated with either (or both) of two events: [...] a specific event marking an important moment in American prehistory or history [or] a pattern of events or a historic trend that made a significant contribution to the development of a community, a State, or the nation." Under Criterion A, the association of the property must also be considered important. The property is not known to be associated with any important historical event or trend in Sampson County under Criterion A. Historically, the property included a grist mill, but the original mill was replaced ca. 1930. There are several mill sites located in Sampson County, including the House Autry Mill (SP0414), Rob Crumpler Mill (SP0512), Stacy Crumpler Mill (SP0513), John Riley Mill (SP0520), and others. The property operated as a farmstead, but no longer retains the agricultural outbuildings associated with its farming operation. The property is recommended not eligible for the NRHP under Criterion A.

As evaluated under Criterion B, the Malcolm Jernigan Property is associated with the Jernigan family of Sampson County. The land was associated with Lewis and Martin Luther Jernigan throughout the nineteenth century. During the late 1910s the property was subdivided among members of the family, at which point Malcolm Jernigan received a 57-acre tract that included the mill site. The Jernigan family settled in Sampson County

during the late eighteenth century and established a grist mill and farming operation, but the owners of this property are not known to have gained notable importance, nor are they considered individually significant. The property is recommended not eligible for the NRHP under Criterion B.

As evaluated under Criterion C, the Malcolm Jernigan House is recommended not eligible for the National Register. In order to qualify as significant under Criterion C a resource must embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic values. The Malcolm Jernigan House is an example of an early twentieth century vernacular residence in rural Sampson County. The Malcolm Jernigan House has had multiple alterations, including the extensive use of replacement materials. The Malcolm Jernigan House is a modest and altered example of a common early twentieth century building type. Numerous examples of similar vernacular style can be found in Sampson and surrounding counties. The setting of the property has been impacted by the introduction of modern buildings, including a ca. 2000 residence and ca. 1995 residence. The property is recommended not eligible for the NRHP under Criterion C.

A search of the North Carolina HPOWEB GIS Service identified numerous early to mid-twentieth century vernacular residences in Sampson County. While these properties are not identical in form and design as the Malcolm Jernigan House, they do share similar characteristics and date from the same period. These properties were generally 1 to 1 ½ story frame dwellings built in the traditional or vernacular style between the 1910s and 1940s. These include examples like the frame dwellings located at Green Path Road (SP0710), 129 Old US 421 (SP0702), and 3980 North Spring Branch Road (SP0706). The properties were generally considered undistinguished architecturally and most have been altered.

The Malcolm Jernigan Property is not known to be likely to yield any new information pertaining to the history of building design or technology, nor of significant patterns of history in the area. Therefore, the resource is recommended not eligible under Criterion D.

In conclusion, the Malcolm Jernigan Property is recommended **not eligible** for listing in the NRHP.

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